

Building for the Future...

Highland Park

City of Redding, California

September 2018 Amendment
Final Planned Development Plan



Making Redding a Better Place to Live

Table of Contents

Vision.....	Pg. 1
Conceptual Site Plan	Pg. 2
Quality Neighborhoods:	
Attached Single-Family Homes.....	Pg. 3
Attached Single-Family Cont.....	Pg. 4
Attached Single-Family Cont.....	Pg. 5
Single-Family Attached.....	Pg. 6
SFA Architecture Examples	Pg. 6.1
41' - 52' Wide SFD.....	Pg. 7
53' - 59' Wide SFD	Pg. 8
60' - 69' Wide SFD.....	Pg. 9
70'+ Wide SFD	Pg. 10
Community Identity.....	Pg. 11
Park Site Plan	Pg. 12
Entry & Project Monumentation	Pg. 13
Tanglewood Drive Exhibit.....	Pg. 14
Street Sections.....	Pg. 15
Phasing Diagram	Pg. 16



Builder / Developer Vision

The Highland Park property is 100 acres of rolling land located north of Hilltop Drive and east of Interstate 5. Its neighbors consist of Hidden Hills, Vista Ridge, and Tanglewood Village.

Highland Park will provide a diverse mix of housing types within a cohesive master planned community. Traditional single family lots with architecturally significant homes are planned adjacent to the existing residential neighborhoods. Higher density housing will occur along the northern and western edges of the property and apartments utilize the southernmost extent of the site.

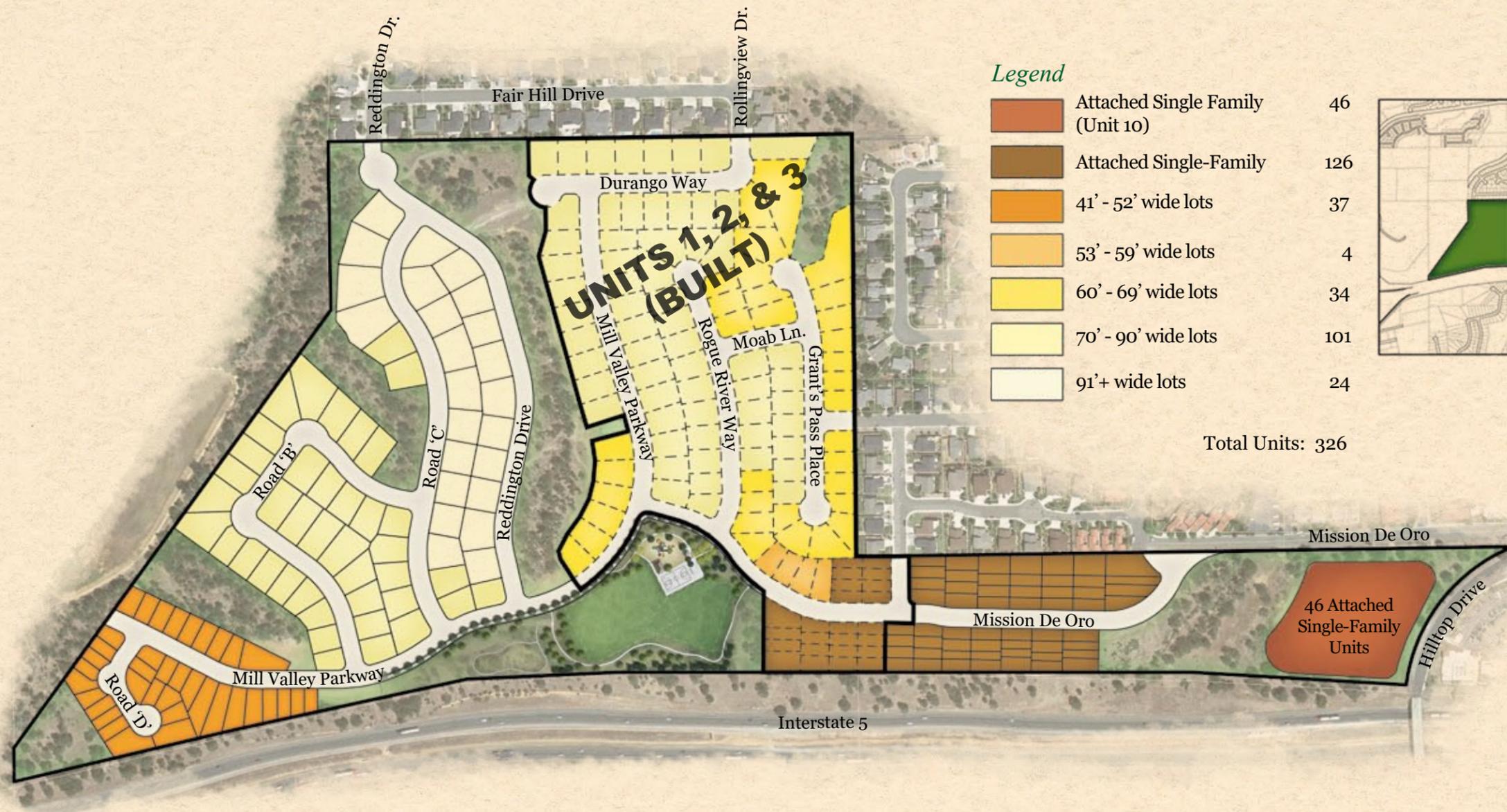
The site features a number of stream corridors and mature trees that are being retained and enhanced to allow pedestrian connections within the new community. Approximately 35% of the site is open space; the natural greenbelts create buffers within the project while maintaining more sensitive areas of the site.

The proposed design and mix of neighborhoods allows Highland Park to provide affordable housing, integrate higher density designs, and maintain consistency with adjacent land uses in an environmentally sensitive master planned community.

Highland Park was approved in May of 2009. Since that time 123 lots have been recorded and 101 homes sold. Additional homes are under construction and we've submitted plans to the City to build more. This Amended Planned Development will ensure the long term success of Highland Park by accomodating current and future housing trends within the Redding market.

Jeb Allen / Sue Tsai

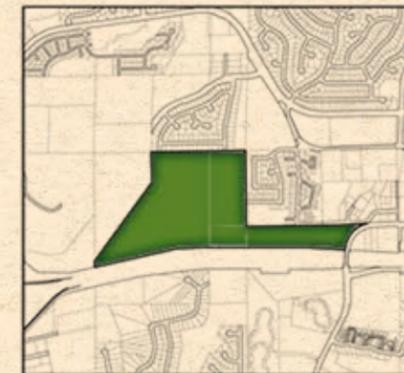
Conceptual Site Plan



Legend

	Attached Single Family (Unit 10)	46
	Attached Single-Family	126
	41' - 52' wide lots	37
	53' - 59' wide lots	4
	60' - 69' wide lots	34
	70' - 90' wide lots	101
	91'+ wide lots	24

Total Units: 326



CLIENT:

Palomar Builders, Inc.
2960 Innsbruck Drive
Redding, CA 96003

MCG LP

P.O. Box 496014
Redding, CA 96049

OWNER:

J&S Highland Park LLC
19207 Pinnacle Court
Redding, CA 96003

MCG LP

P.O. Box 496014
Redding, CA 96049

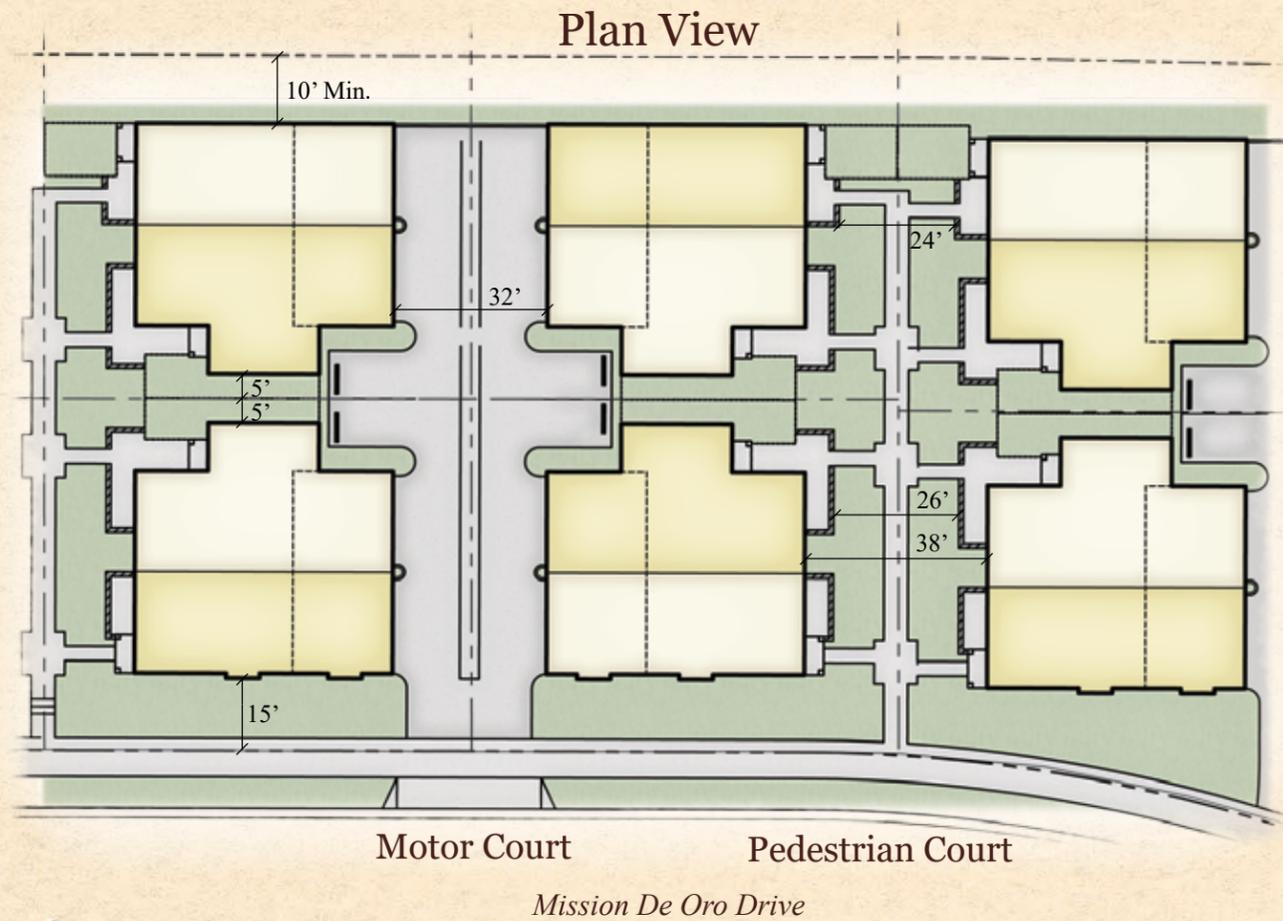
ENGINEER:

Sharrah Dunlap Sawyer, Inc.
6590 Lockheed Drive
Redding, CA 96002

SITE DATA:

A.P. # 117-070-003, 004, 005 & 117-150-008
Existing Use: Vacant
Proposed Use: 344 Unit Residential Project
General Plan: Res 3.5-6, 6-10, 10-20, Gwy
Zoning: RS-3.5, RM-6, RM-12
Electricity: City of Redding
Water: City of Redding
Sewer: City of Redding
Telephone: AT&T
Project Area: 94.7 AC
Open Space: 19.6 AC
Buildable Area: 75.1 Ac
Unit Count: 326
Traditional Lots: 200
Attached Single-Family Homes: 126

Quality Neighborhoods Attached Single-Family Homes



Pedestrian Court View

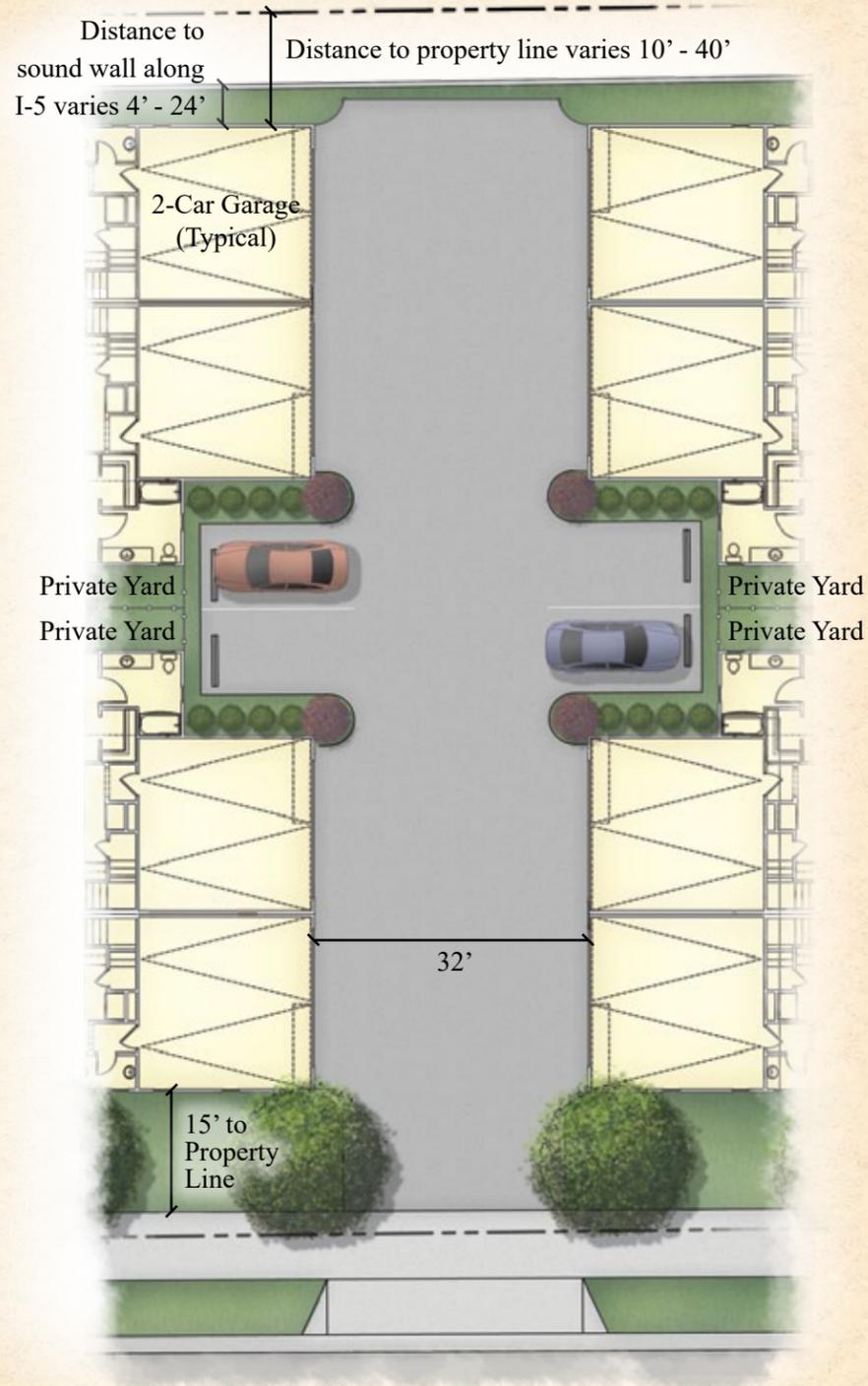


Mission De Oro Drive Elevation

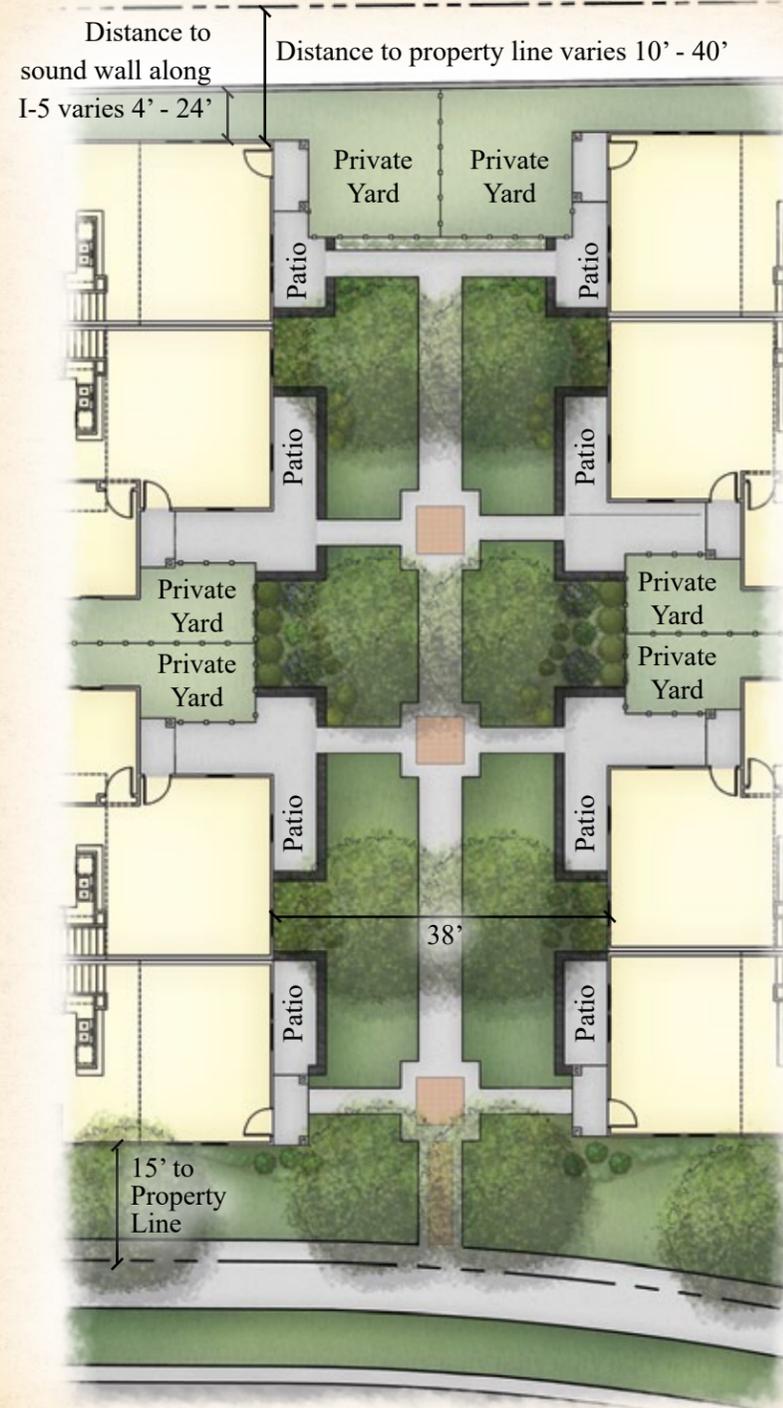
Street View

Quality Neighborhoods

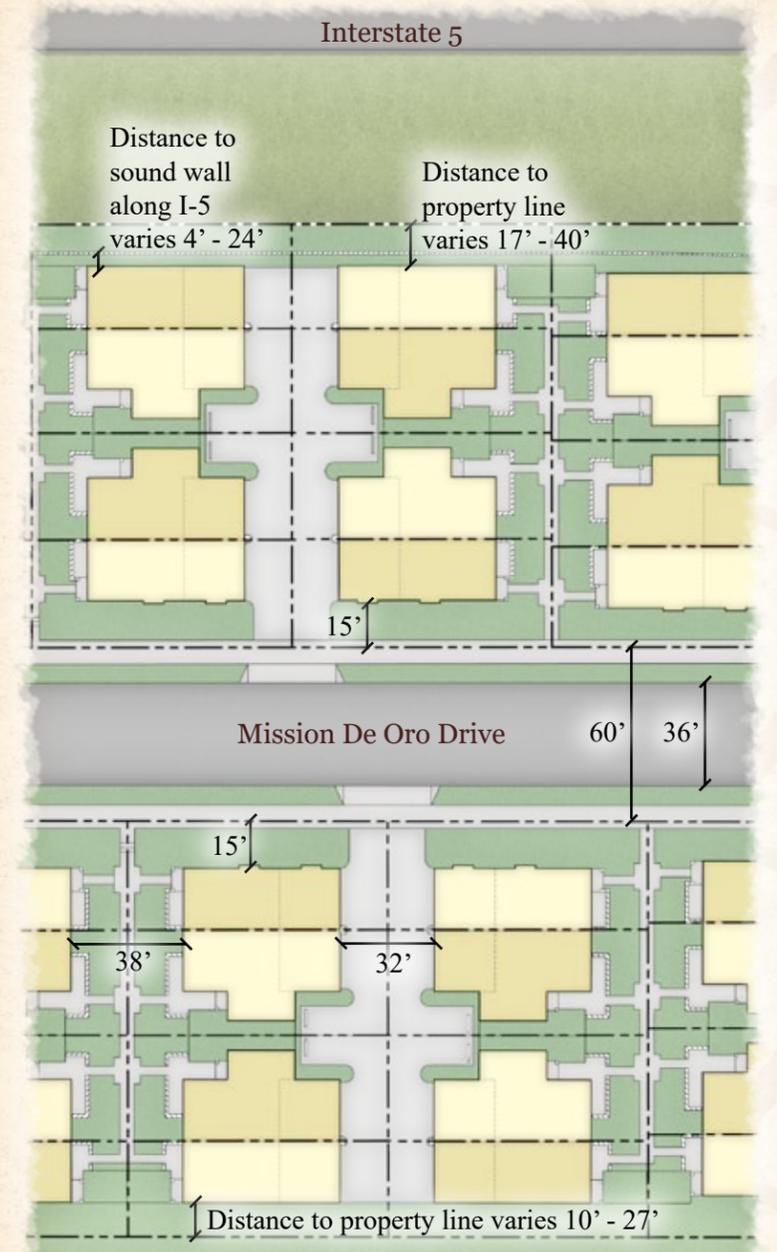
Attached Single-Family Homes



Motor Court (Typical)



Pedestrian Court (Typical)



Attached Single-Family Layout (Typical)

Quality Neighborhoods Attached Single-Family Homes



Pedestrian Court Elevation



Inside Elevation



Street Elevation



Motor Court Elevation

Quality Neighborhoods

Single-Family Attached

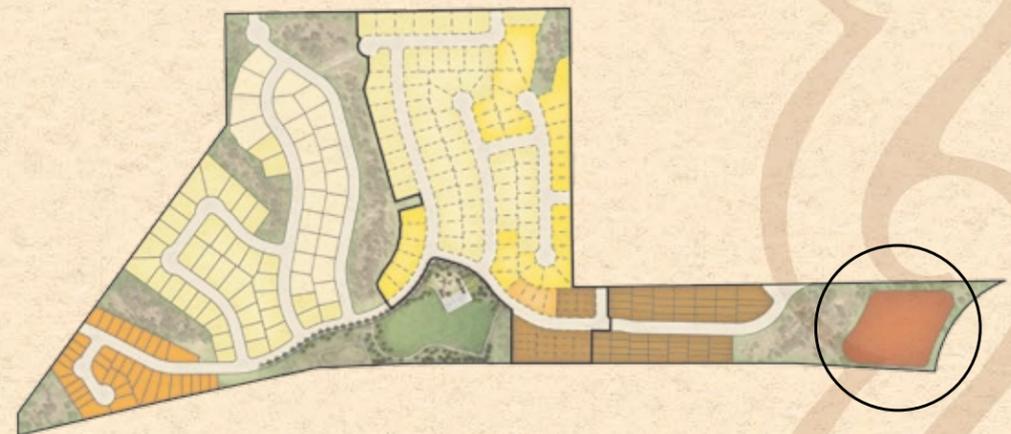


FEATURES:

- 46 attached single-family units on 32 lots
- 2-unit and 4-unit buildings
- 26' on-site drive aisle
- 20' driveways (min.) for 2-unit buildings

PARKING DATA

Garage spaces:	36
Driveway spaces:	36
On-site spaces:	59
On-street spaces:	
(Mission De Oro)	23
Total:	154 spaces
	3.3 spaces/unit



Key Map

Attached Single-Family
46 Units

Highland Park

City of Redding, California

Quality Neighborhoods

SFA Architecture Examples



Front Entry



Side Elevation 1



Side Elevation 2



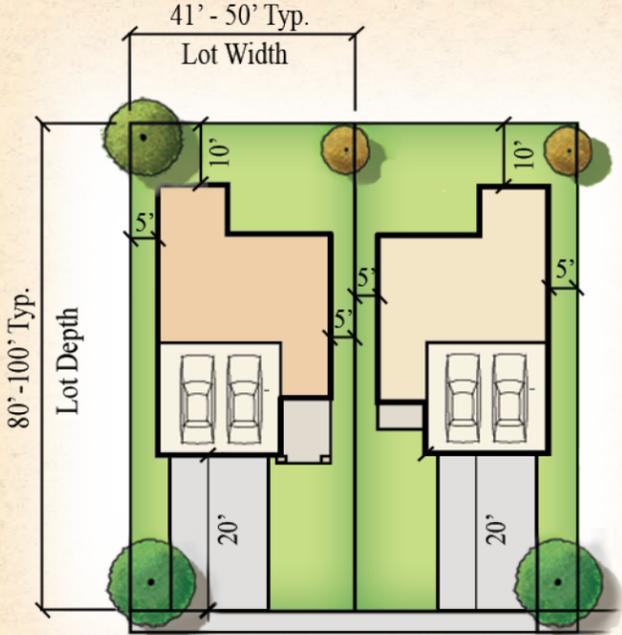
Garage Side



Entry Landscaping



Entry Landscaping

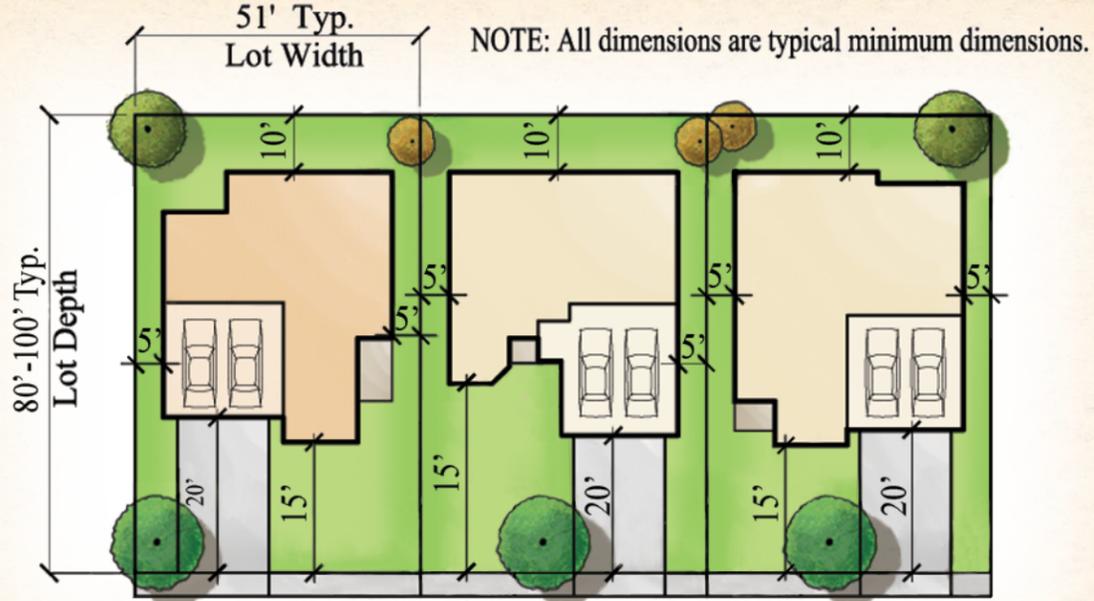


NOTE: All dimensions are typical minimum dimensions.

Plotting Setbacks



Note: Final design may vary from illustrations.



Plotting Setbacks

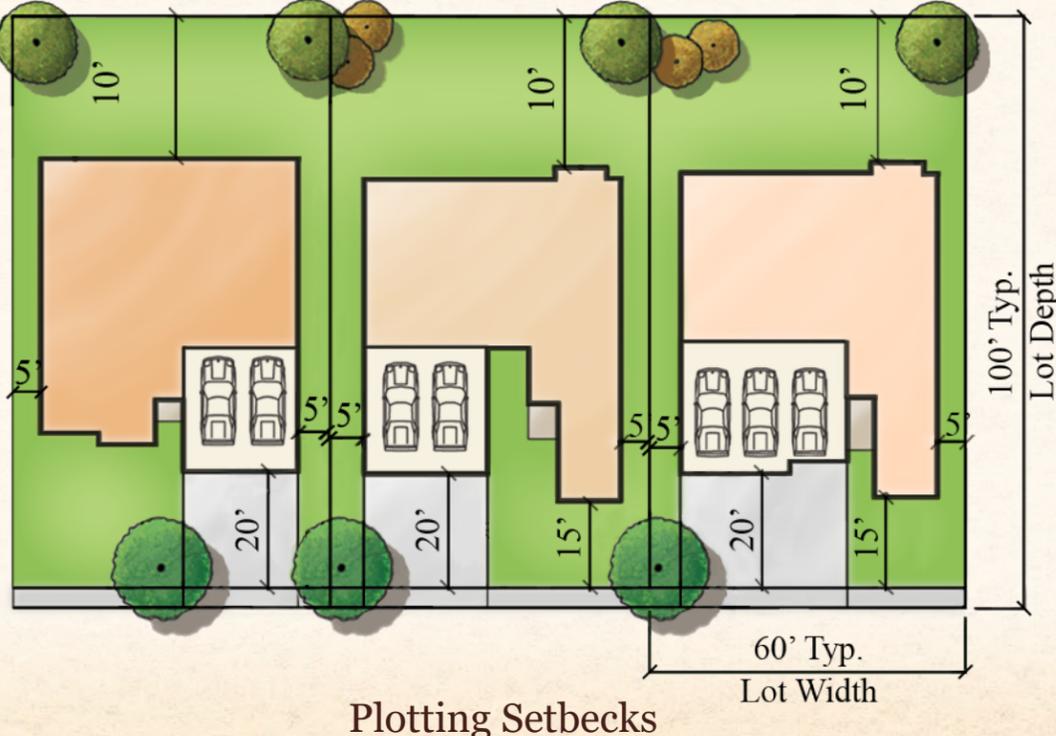


Note: Final design may vary from illustrations.

Quality Neighborhoods

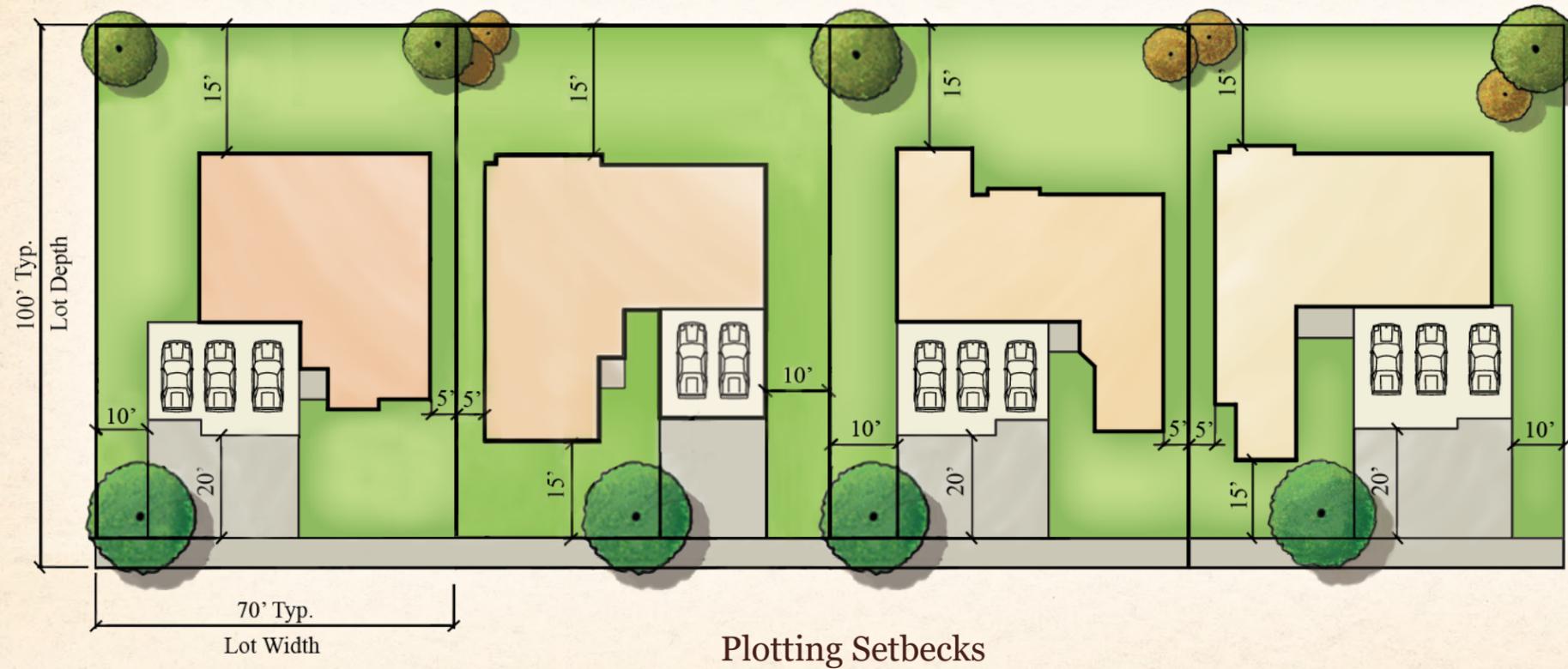
60' - 69' Wide Lots

NOTE: All dimensions are typical minimum dimensions



Note: Garages shall be a combination of 3-car and 2-car.

NOTE: All dimensions are typical minimum dimensions



Plotting Setbacks



Notes: Garages shall be a combination of 3-car and 2-car.
Stone veneer is an optional amenity.

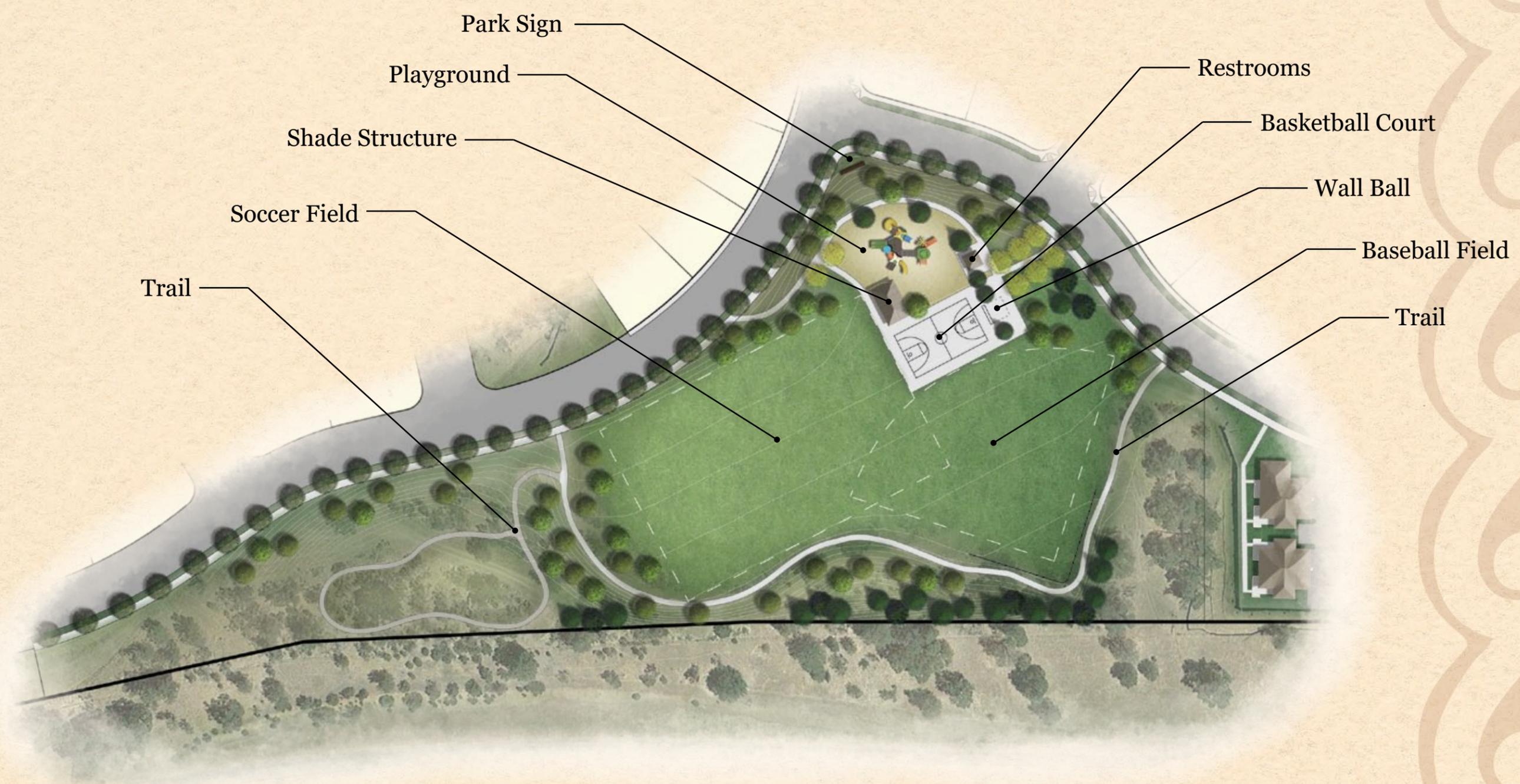
Building for the Future...

Through cooperative efforts between Palomar Builders, MCG LP and the City of Redding, the proposed 7 acre park will be the heart of the Highland Park community. Situated on the west portion of the site, the park will provide recreational opportunities for the residents of Highland Park as well as residents of surrounding established neighborhoods. Park facilities will include ball fields, picnic and bar-be-que areas, a playground, shade structure, wall ball and basketball court.

In addition to the park, recreational opportunities are provided through trails located within preserved open space and creek corridors. The marriage of programmed and natural recreational open space systems will provide a unique environmental setting for the residents of Highland Park. Community monuments, entry features and landscaped parkways will be designed to compliment the natural setting.

Making Redding a Better Place to Live

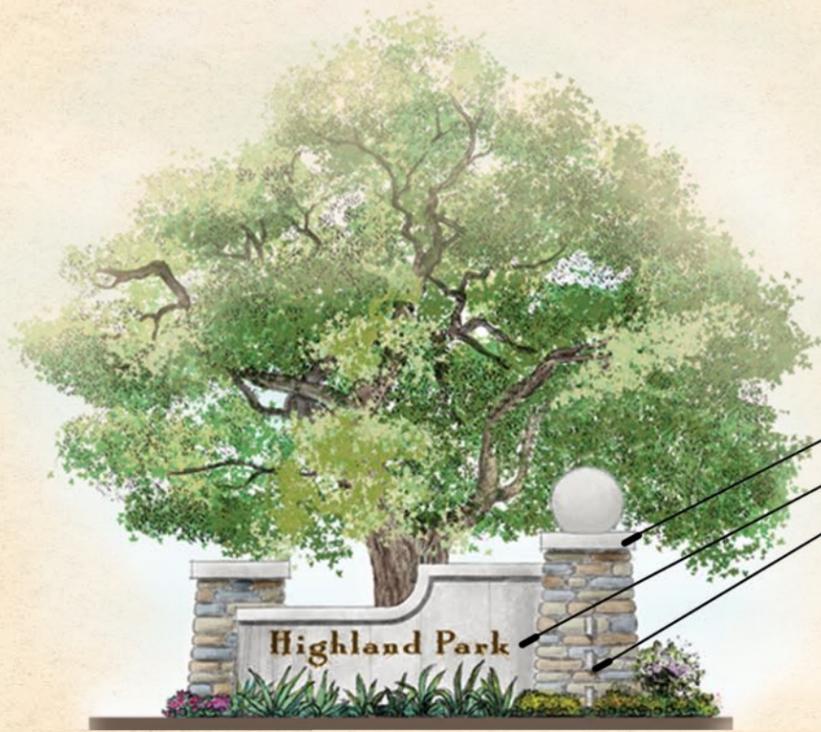




Highland Park

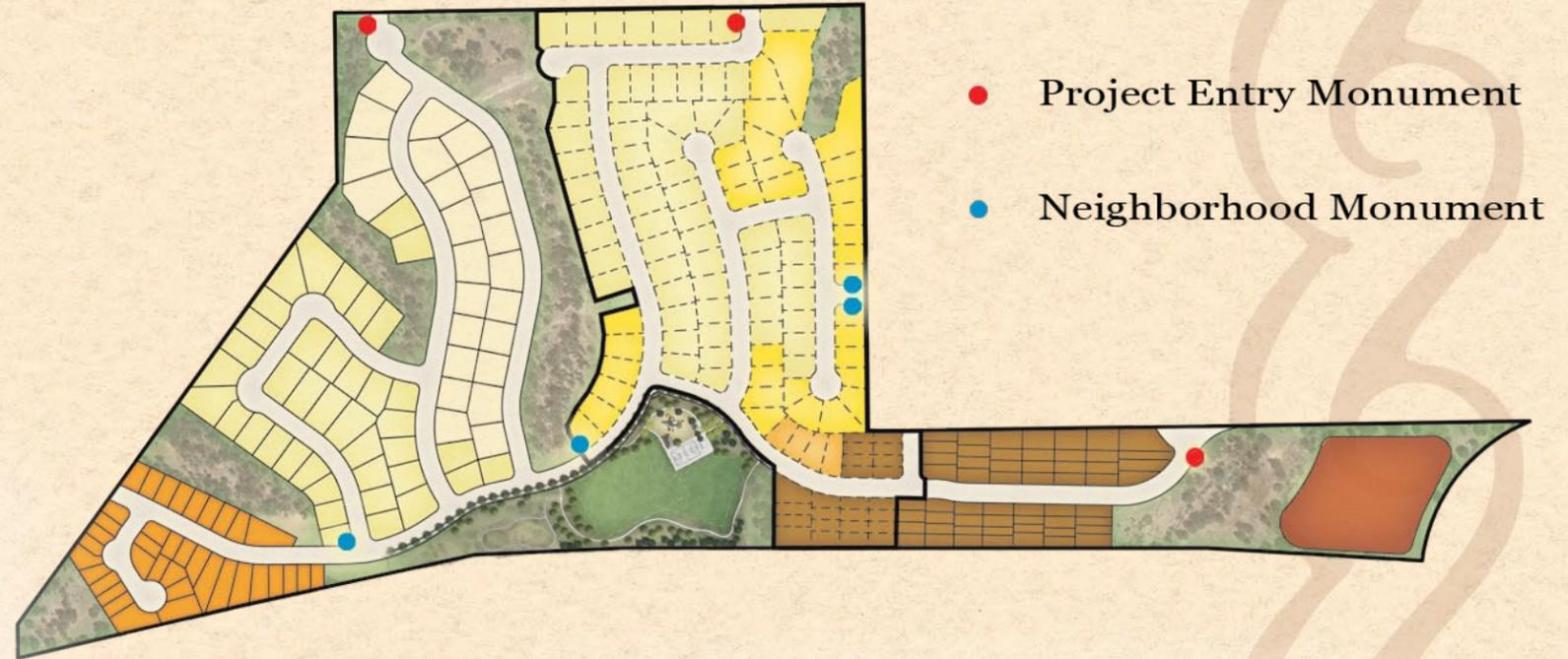
City of Redding, California

Entry & Project Monumentation

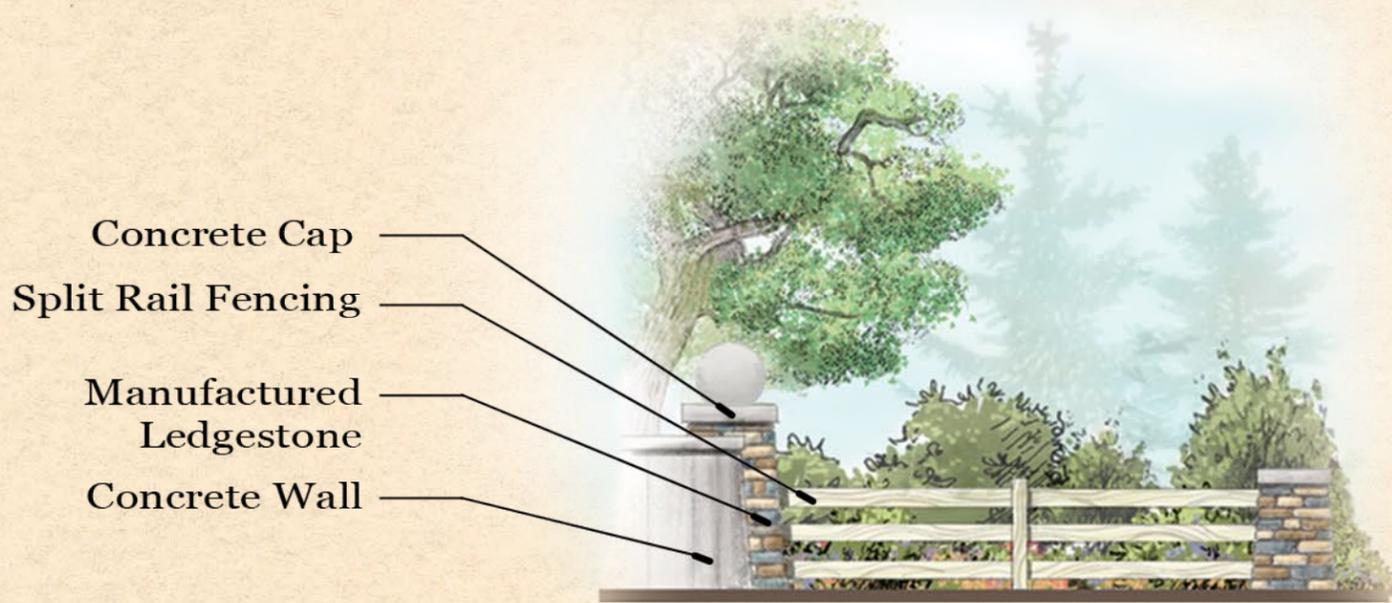


- Concrete Cap
- Concrete Wall
- Manufactured Ledgestone

Project Entry Monument
Front Elevation



- Project Entry Monument
- Neighborhood Monument



- Concrete Cap
- Split Rail Fencing
- Manufactured Ledgestone
- Concrete Wall

Project Entry Monument
Side Elevation

- Concrete Cap
- Project Logo



Neighborhood Monument

Note: Final design may vary from illustrations.

Tanglewood Drive Exhibit

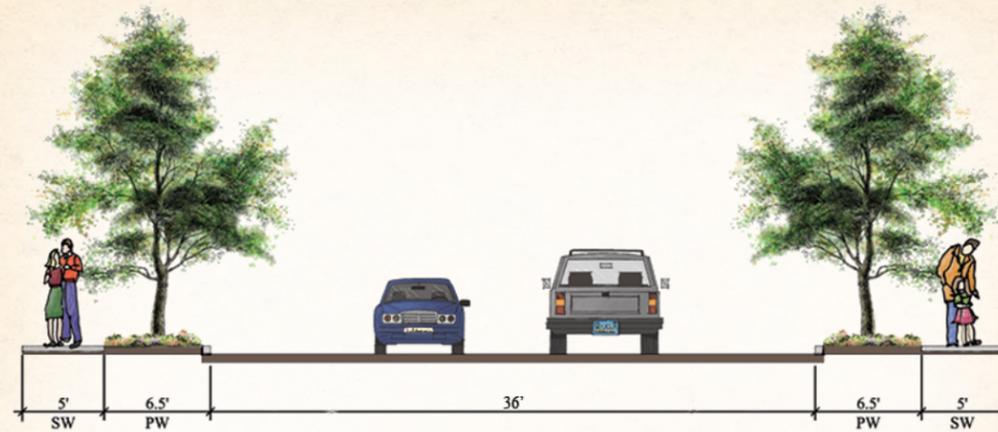


Key Map

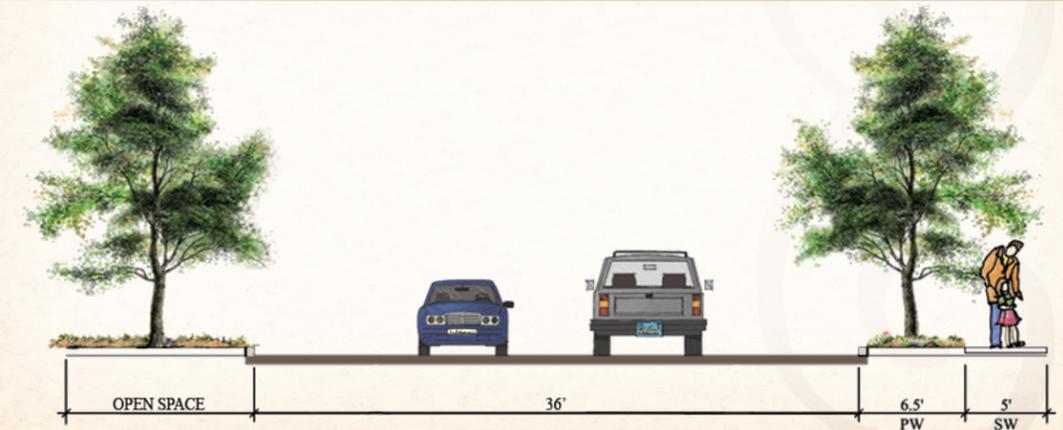


Area to be maintained by Highland Park L.M.D.

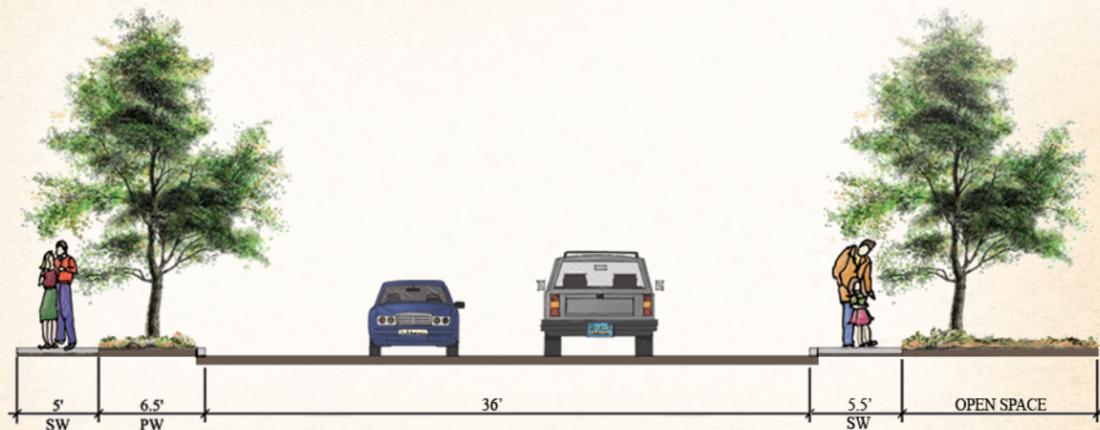
Street Sections



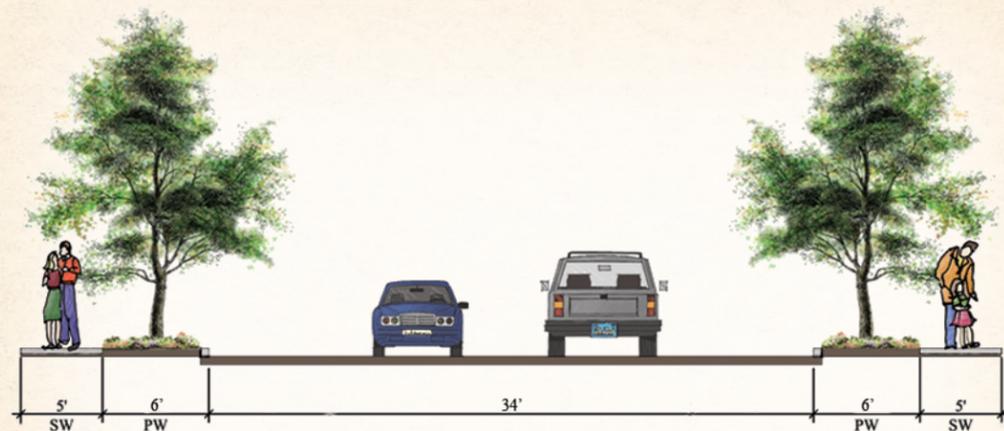
1 TYPICAL 60' STREET SECTION



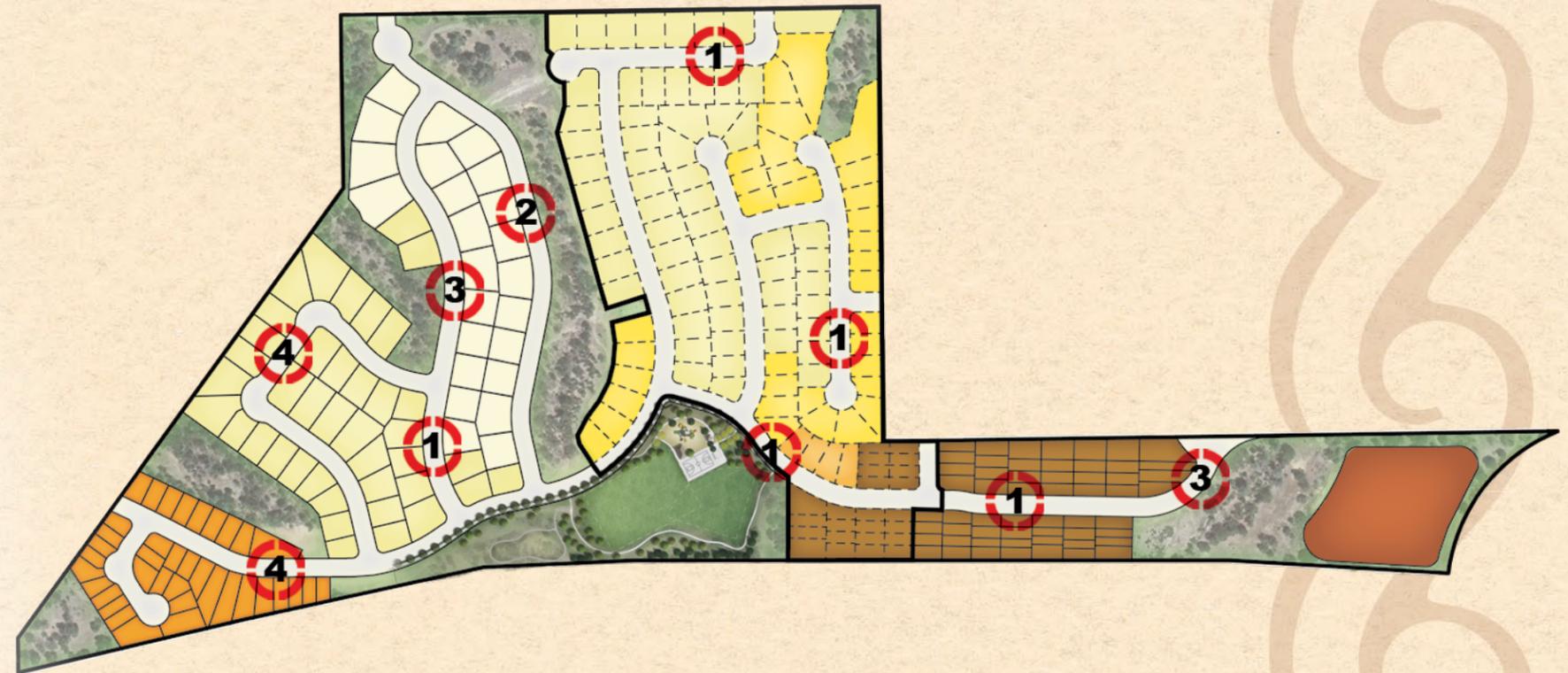
2 REDDINGTON DRIVE SECTION
(WHEN ADJACENT TO OPEN SPACE)



3 TYPICAL 60' STREET SECTION
(WHEN ADJACENT TO OPEN SPACE)



4 TYPICAL 56' STREET SECTION



Phasing Diagram



PHASE	NO. OF UNITS
1 & 2	93
3	30
4	22
5	42
6	56
7	37
8	46