

CENTER OF HOPE

Project Location : 1201 INDUSTRIAL STREET REDDING CA 96002
 For : HILL COUNTRY HEALTH AND WELLNESS CENTER

PROJECT DESCRIPTION

New OSHPD3 primary care clinic (medical, dental and behavioral health) with a separate building for at-risk youth housing services.

DESIGN TEAM

ARCHITECT:
 TRILOGY ARCHITECTURE
 2055 Pine Street
 Redding, CA 96001
 530.243.3000
 CONTACT : James Theimer

MECHANICAL - PLUMBING ENGINEERS, INC
 FRONTIER CONSULTING
 ENGINEERS, INC
 PO BOX 492174
 REDDING, CA 96049
 530.410.6127
 CONTACT: BEN ABRAHAMSEN

STRUCTURAL:
 RIVERSTONE STRUCTURAL
 CONCEPTS
 671 E. Riverpark Ln, Ste 150
 Boise, ID 83706
 208.343.2092
 CONTACT: PATRICK BIRD

ELECTRICAL:
 PACE ENGINEERING, INC
 1730 SOUTH STREET
 REDDING, CA 96001
 530.244.0202
 CONTACT: TONY BOWSER

CIVIL:
 OMNI MEANS - A GHD COMPANY
 330 HARTNELL AVENUE, SUITE B
 REDDING, CA 96002
 530.242.1700
 CONTACT: BRANDON TENNEY

LIGHTING:
 THE BENYA BURNETT CONSULTANCY
 1612 OLYMPIC DRIVE
 DAVIS, CA 95616
 503.519.9631
 CONTACT: JIM BENYA

LANDSCAPE:
 MIKE LANDER ASLA
 20270 LUPINE DRIVE
 REDDING, CA 96002
 530.223.2488
 CONTACT:
 MIKE LANDER

RELEASE DATE

USE PERMIT 11.27.18



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 CURRENT SHEET DATE: 11.27.18
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DRAWN BY: TM
 CHECKED BY: JT
 PROJECT NO: C1226
 PHASE: DD

PROJECT:
CENTER OF HOPE
 1201 INDUSTRIAL STREET, REDDING, CA, 96002

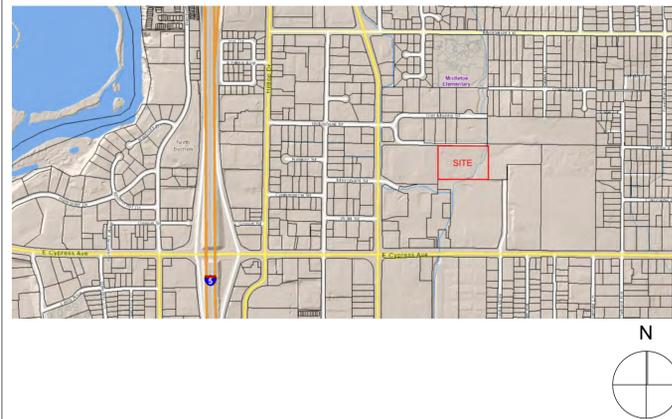
TITLE SHEET

T1

ABBREVIATIONS

ABV	ABOVE	LAV	LAVATORY
AC	ASPHALT CONCRETE	LBS	POUNDS
AD	AREA DRAIN	LF	LINEAR FEET
ADD	ADDENDUM	LL	LIVE LOAD
ADJ	ADJACENT, ADJUSTABLE	MAX	MAXIMUM
ABV	ABOVE FINISH FLOOR	MBR	MEMBER
AGG	AGGREGATE	MECH	MECHANICAL
ALT	ALTERNATE	MEMB	MEMBRANE
ALUM	ALUMINUM	MFR	MANUFACTURER
APPROX	APPROXIMATELY	MFR	MINIMUM
ARCH	ARCHITECT, ARCHITECTURAL	MISC	MISCELLANEOUS
A&WB	AIR & WATER BARRIER	MTD	MOUNTED
		MTL	METAL
		MULL	MULLION
BD	BOARD	(N)	NEW
BLDG	BUILDING	NIC	NOT IN CONTRACT
BLKG	BLOCKING	NTS	NOT TO SCALE
BLW	BELOW	NIP	NOT IN PERMIT
BM	BEAM		
BN	BENCH MARK	OC	ON CENTER
BO	BOUNDARY NAILING	OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
BO	BOTTOM OF	OFCl	OWNER FURNISHED, OWNER INSTALLED
BRDG	BRIDGING	OFVI	OWNER FURNISHED, VENDER INSTALLED
BRG	BEARING	OPNG	OPENING
BTU	BRITISH THERMAL UNIT	OPP	OPPOSITE
BTWN	BETWEEN	OVHD	OVERHEAD
		OZ	OUNCE
		O/	OVER
CB	CATCH BASIN	PRL	PARALLEL
CFM	CUBIC FOOT PER MINUTE	PCF	POUNDS PER CUBIC FOOT
CLG	CEILING	PERIM	PERIMETER
CP	CONTROL POINT	PERP	PERPENDICULAR
CLR	CLEAR	PL	PLATE
CMU	CONCRETE MASONRY UNIT	P.L.	PROPERTY LINE
CO	CLEANOUT	PLM	PLASTIC LAMINATE
COL	COLUMN	PLF	POUNDS PER LINEAR FOOT
COMP	COMPOSITE, COMPOSITION	PLUMB	PLUMBING
CONC	CONCRETE	PLYWD	PLYWOOD
CONT	CONTINUOUS	POC	POINT OF CONNECTION
CTR	CENTER	PR	PAIR
CY	CUBIC YARD	PRFAB	PREFABRICATED
		PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PSI	POUNDS PER SQUARE INCH
DEPT	DEPARTMENT	PTDF	PRESSURE TREATED DOUGLAS FIR
DET	DETAIL	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	QTR	QUARTER
DIAG	DIAGONAL, DIAGRAM		
DIM	DIMENSIONS	R	RADIUS, RISER
DL	DEAD LOAD	RBR	RUBBER
DN	DOWN	RND	ROUND
DP	DEEP	RD	ROOF DRAIN
DR	DOOR	REF	REFERENCE
DWG	DRAWING	REG	REGULATION
		REINF	REINFORCED
(E)	EXISTING	REQD	REQUIRED
E	EAST	RESIL	RESILIENT
EA	EACH	REV	REVERSE, REVISION
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATION, ELEVATOR	RO	ROUGH OPENING
ENCL	ENCLOSURE	RWL	RAIN WATER LEADER
ENGR	ENGINEER	SCWD	SOLID CORE WOOD DOOR
EQ	EQUAL	SCHED	SCHEDULE
EQPMT	EQUIPMENT	SECT	SECTION
EST	ESTIMATE	SCD	SEE CIVIL DRAWINGS
EXH	EXHAUST	SED	SEE ELECTRICAL DRAWINGS
EXT	EXTERIOR	SLD	SEE LANDSCAPE DRAWINGS
		SMD	SEE MECHANICAL DRAWINGS
FBGL	FIBERGLASS	SPD	SEE PLUMBING DRAWINGS
FCB	FIBER CEMENT BOARD	SSD	SEE STRUCTURAL DRAWINGS
FCP	FIBER CEMENT PANEL	SEL	SELECT
FCT	FIBER CEMENT TRIM	SHT	SHEET
FD	FLOOR DRAIN	SHTG	SHEATHING
FDN	FOUNDATION	SIM	SIMILAR
FF	FINISH FLOOR	SOG	SLAB-ON-GRADE
FIN	FINISH, FINISHED	SGD	SLIDING GLASS DOOR
FL	FLOWLINE	SGW	SLIDING GLASS WINDOW
FLR	FLOOR	SPEC	SPECIFICATION
FLUOR	FLUORESCENT	SQ	SQUARE
FOB	FACE OF BEAM	SS	STAINLESS STEEL
FOC	FACE OF CONCRETE	STD	STANDARD
FOCB	FACE OF CURB	STL	STEEL
FOF	FACE OF FINISH	STOR	STORAGE
FOFRMG	FACE OF FRAMING	STRUCT	STRUCTURAL
FOM	FACE OF MASONRY	SUSP	SUSPENDED
FRMG	FRAMING	SYM	SYMMETRICAL
FT	FEET, FOOT	SYS	SYSTEM
FTG	FOOTING	T	TREAD
F.V.	FIELD VERIFY	TBD	TO BE DETERMINED
		TBR	TO BE REMOVED
GA	GAUGE	TEMPD	TEMPERED
GAL	GALLON	TEMP	TEMPORARY
CALV	CALVANIZED	T&G	TONGUE AND GROOVE
GL	GLASS	THK	THICKNESS
GLB	GLUE LAMINATED BEAM	THRES	THRESHOLD
GPM	GALLONS PER MINUTE	TOAP	TOP OF ASPHALT PAVING
GSM	GALVANIZED SHEET METAL	TOCB	TOP OF CURB
GWB	GYPNUM WALL BOARD	TOCP	TOP OF CONCRETE PAVING
		TOP	TOP OF PAVING
HB	HOSE BIB	TOPL	TOP OF PLATE
HC	HANDICAP	TOW	TOP OF WALL
HDR	HEADER	TOWK	TOP OF SIDEWALK
HCMID	HOLLOW CORE METAL DOOR	TS	TUBE STEEL
HOWD	HARDWOOD	TYP	TYPICAL
HDWR	HARDWARE	UL	UNDERWRITERS LABORATORY
HM	HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE
HORZ	HORIZONTAL	VERT	VERTICAL
HP	HORSEPOWER	VTR	VENT THROUGH ROOF
HR	HOUR		
HT	HEIGHT	W	WITH
HTG	HEATING	WD	WOOD
HW	HOT WATER	WH	WATER HEATER, EWH (ELEC), GWH (GAS)
HCU	HYDRAULIC CEMENT UNDERLAYMENT	W/O	WITHOUT
		WP	WATERPROOF(ING)
IFO	INSIDE FACE OF FRAMING	WWF	WELDED WIRE FABRIC
INSUL	INSULATION	YD	YARD
INT	INTERIOR		
JCT	JUNCTION		
JST	JOIST		
JNT	JOINT		
KP	KICK PLATE		
LAB	LABORATORY		
LAM	LAMINATE		

VICINITY MAP



GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CURRENTLY ADOPTED EDITION OF THE NATIONAL AND STATE BUILDING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES AND ORDINANCES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BEFORE COMMENCING WITH WORK. IF DIMENSION IS OMITTED, OR ANY DISCREPANCIES OCCUR, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING OR CONTINUING ANY CONSTRUCTION IN THE AREA OF CONCERN. DO NOT SCALE THESE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO THE FACE OF OR CENTERLINE OF FRAMING UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK BEFORE PROCEEDING WITH ANY NEW WORK. PROCEEDING WITH NEW WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.
- ALL EXISTING CONSTRUCTION AND LANDSCAPE FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER, WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEMS.
- CONTRACTOR SHALL KEEP GENERAL RUBBISH AND DEBRIS CLEANED UP THROUGHOUT CONSTRUCTION TO MINIMIZE FIRE HAZARD.

GENERAL BUILDING ANALYSIS

Accessor's Parcel No : 087110052000
 Zoning District : GC
 Seismic Design Category : D
 Basic Wind Speed : 85 mph
 Snow Load : 30 psf, nonreducible
 Maximum Rain Intensity : 3" per hour
 Climate Zone : 11
 Applicable Codes :
 2016 California Building Code (CBC)
 2016 California Plumbing Code (CPC)
 2016 California Mechanical Code (CMC)
 2016 California Fire Code (CFC)
 2016 California Health and Safety Code amendments
 2016 California Green Building Standards Code (CGC)
 California Electric Code (CEC)
 California Energy Code Energy Efficiency Standards
 Soil Classification : See Geotech Report

CLINIC
 Occupancy Group : Mixed Use - A-2 / A-3 / B / E / S-1
 Construction Type : IIS
 Fire Sprinklered : Yes

HOUSING
 Occupancy Group : R-2
 Construction Type : VB
 Fire Sprinklered : Yes

See Code Analysis Sheet for detailed code information

STRUCTURAL ENGINEERING COORDINATION

STRUCTURAL ENGINEERING COORDINATION IS IN ACCORDANCE WITH CBC SECTION 106.3.4.1. THE PROJECT ARCHITECT FOR TRILOGY ARCHITECTURE, JAMES E. THEIMER, A.I.A. HAS REVIEWED AND COORDINATED ALL SUBMITTAL DOCUMENTS PREPARED BY THE SEPARATE ENGINEERS NOTED ON THIS PROJECT.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND / OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF PROJECT ARCHITECT / ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARDS TO GEOMETRY, LOAD CONDITION, ETC.) WITH NO EXCEPTIONS. ITEMS SCHEDULED FOR DEFERRED SUBMITTAL ARE AS FOLLOWS:

- FIRE SPRINKLER SYSTEM.
- FIRE ALARM SYSTEM.
- CODE AND PROPRIETARY SIGNAGE.
- FIRE SAFETY AND EVACUATION PLANS.

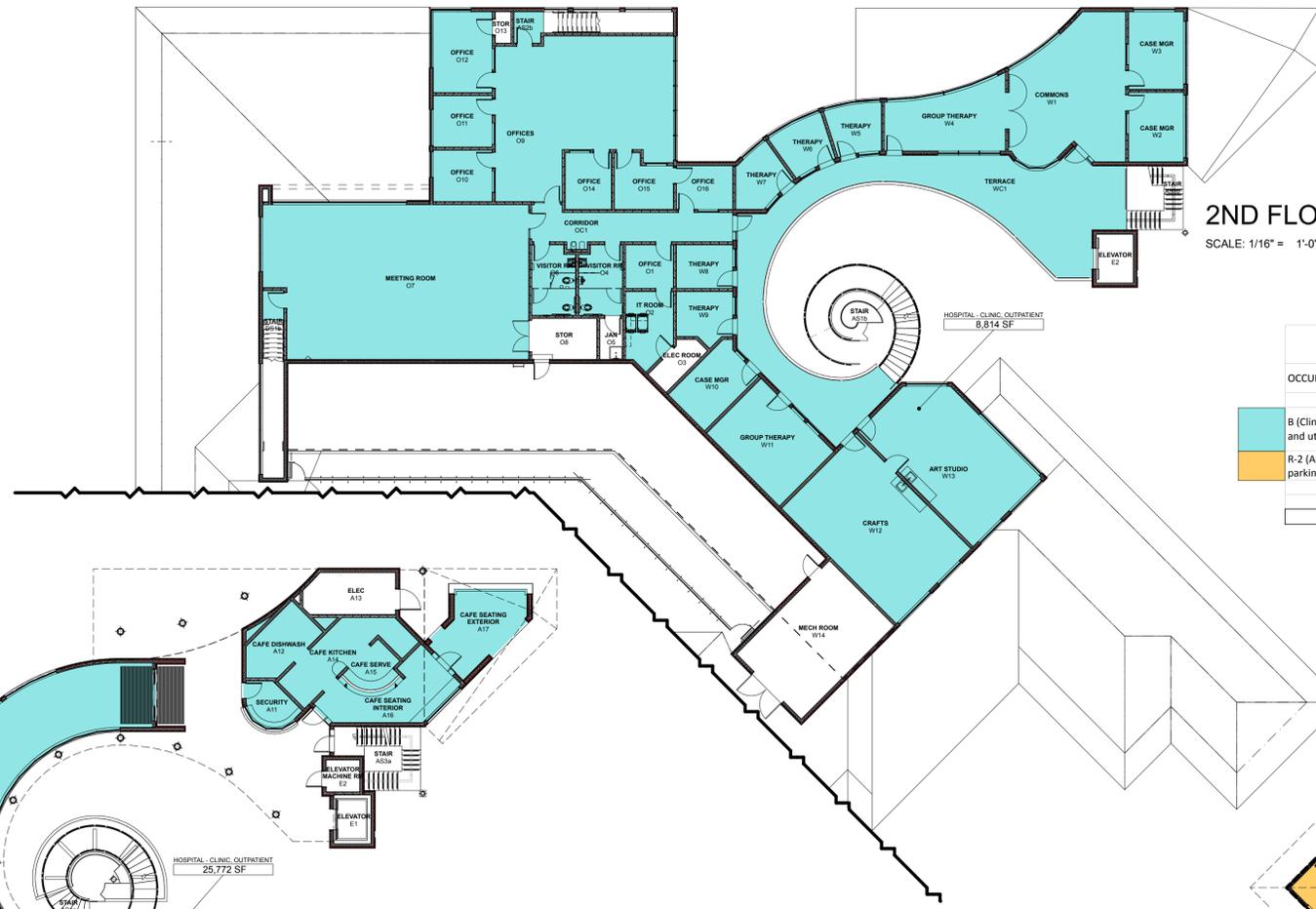
SYMBOLS LEGEND

- 1 REFERENCE GRID NUMBER OR LETTER
- 1-1 DETAIL NUMBER
- 1-1 SECTION NUMBER
- 1-1 ELEVATION NUMBER
- 1-1 INTERIOR ELEVATION NUMBER
- KITCHEN 101 ROOM NAME AND NUMBER
- D101 DOOR SYMBOL
- W WINDOW SYMBOL
- KEYNOTE SYMBOL
- A CASEWORK SYMBOL
- ACCESSORY SYMBOL
- A.F.H. WALL TYPE SYMBOL
- ELEVATION DATUM
- ALIGN FINISHES
- CLOUD AREA REVISED
- REVISION NUMBER

RELATED PERMITS

BIM Server: BIM-Server:local - BIM Server 21/C1226-COH - 12/3/18 - 10:53 AM

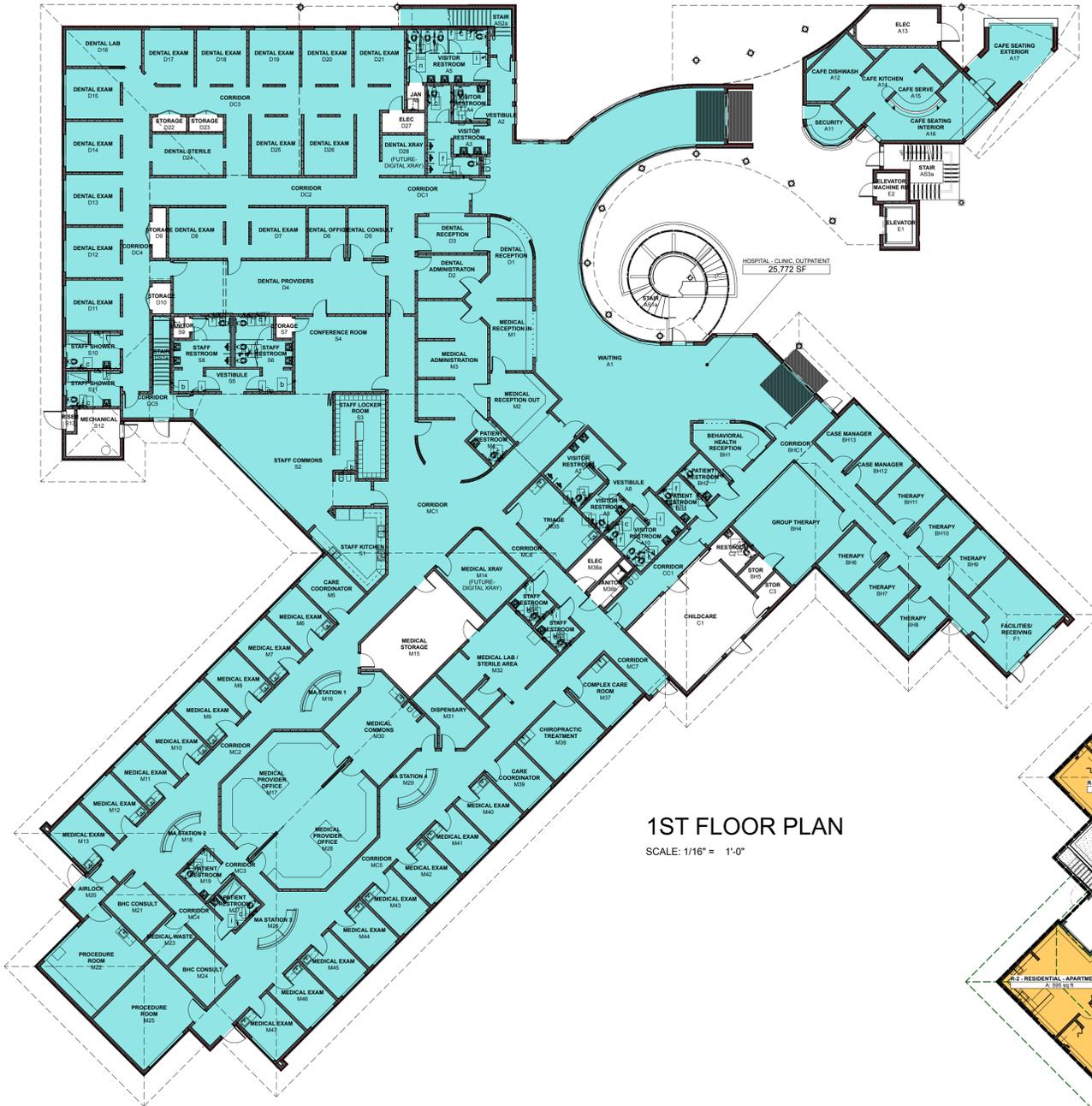
KEYNOTES



2ND FLOOR PLAN

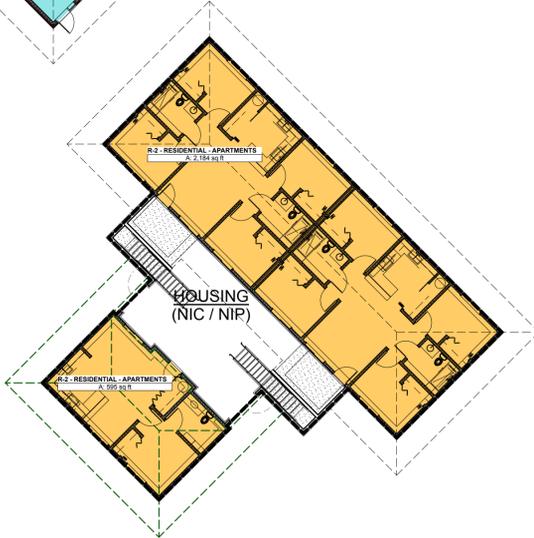
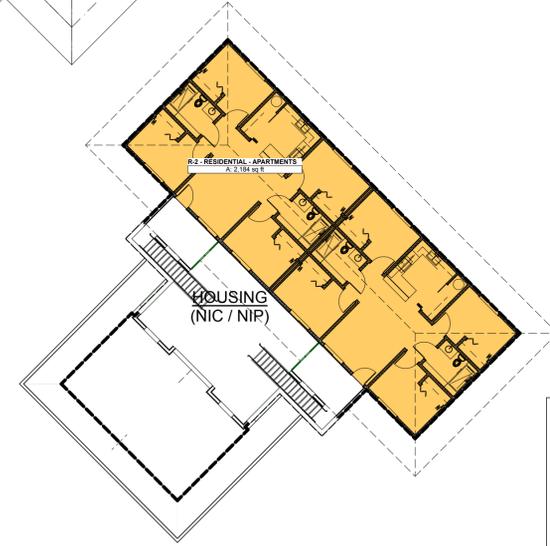
SCALE: 1/16" = 1'-0"

PARKING CALCULATION						
OCCUPANCY USE	FLOOR AREA OR NUMBER OF BEDROOMS	PARKING FACTOR (RMC 18.41.040-A)	UNIT	FACTOR	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
B (Clinic, outpatient) - excluding storage and utility rooms and childcare.	34,586 sf	CLINIC 1 parking space per 225 sf of gross floor area	34,586.00	225	153.72	
R-2 (Apartments) - for at risk youth, no parking needed.	N/A					
TOTAL PARKING					153.72	154



1ST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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PROJECT:
CENTER OF HOPE
 1201 INDUSTRIAL STREET, REDDING, CA, 96002

CODE ANALYSIS - PARKING CALCS

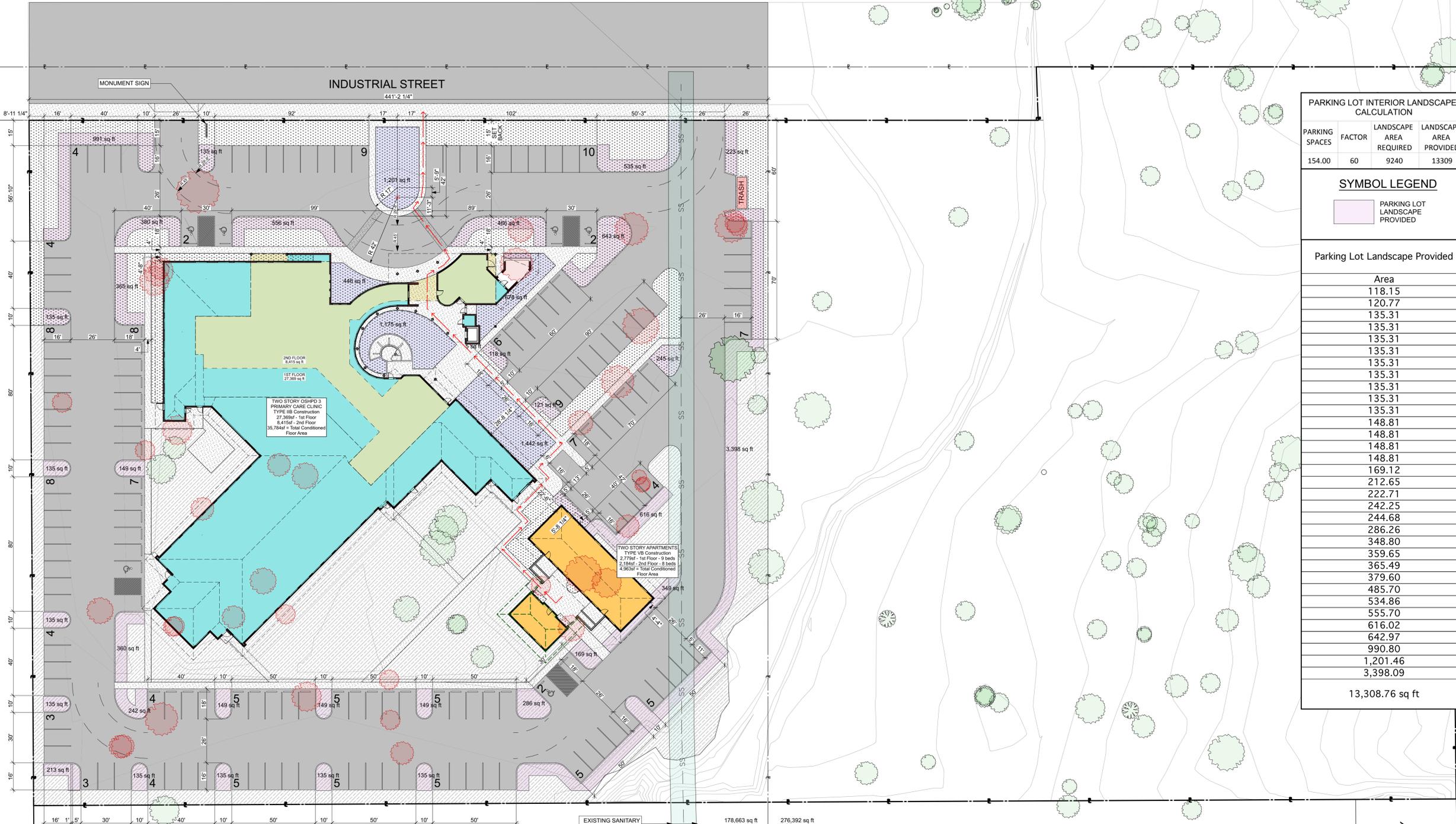
A0.1e

CODE ANALYSIS - PARKING CALCS
 1/16" = 1'-0"
 1 INCH

BIM Server: BIM-Server/local - BIM Server 21/C1226-COH - 11/27/18 - 2:28 PM

KEYNOTES

- GENERAL NOTES**
- A. DIMENSIONS TO BUILDING ARE TO FACE OF CONCRETE FOUNDATION WHICH IS 4 INCHES OFFSET FROM FACE OF STUD.
 - B. ROUTE OF TRAVEL ROUTE TO BE MIN 4'-0" WIDE. SLOPE OF ROUTE IN DIRECTION OF TRAVEL TO BE LESS THAN 1:20 (5%), CROSS SLOPE TO BE LESS THAN 1:50 (2%). CHANGES IN LEVEL DO NOT EXCEED 1/4" VERTICAL OR EXCEED 1:2 BEVELED SLOPE FOR CHANGES IN BETWEEN 1/4" AND 1/2". SEE CIVIL GRADING PLANS FOR ACTUAL GRADES.



PARKING LOT INTERIOR LANDSCAPE CALCULATION			
PARKING SPACES	FACTOR	LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED
154.00	60	9240	13309

MINIMUM LANDSCAPE BY ZONING DISTRICT - GENERAL COMMERCIAL			
PARKING SPACES	FACTOR	LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED
39,517.00	0.05	1976	3745

SYMBOL LEGEND	
	PARKING LOT LANDSCAPE PROVIDED

SYMBOL LEGEND	
	ZONING LANDSCAPE PROVIDED

Parking Lot Landscape Provided	
Area	
118.15	
120.77	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
135.31	
148.81	
148.81	
148.81	
148.81	
148.81	
169.12	
212.65	
222.71	
242.25	
244.68	
286.26	
348.80	
359.65	
365.49	
379.60	
485.70	
534.86	
555.70	
616.02	
642.97	
990.80	
1,201.46	
3,398.09	
13,308.76 sq ft	

Zoning Landscape	
Area	
4.94	
446.08	
677.56	
1,174.88	
1,441.61	
3,745.07 sq ft	

SYMBOL LEGEND	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

SYMBOL LEGEND	
	GROUND COVER IRRIGATED
	HYDROSEED NON-IRRIGATED
	CONCRETE PAVING
	ASPHALT PAVING

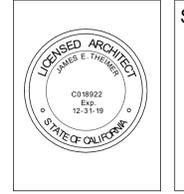
PARKING CALCS	
SEE SHEET A0.1d FOR FLOOR AREA CALC	
PARKING REQ'D - 154	PARKING PROVIDED - 154
HC PARKING REQ'D - 6	HC PARKING PROVIDED - 6

EXISTING SANITARY SEWER & EASEMENT
 178,663 sq ft (4.18ac) Proposed Lot Split
 276,392 sq ft (6.35ac) Proposed Lot Split
 455,055 sq ft (10.45ac) Existing Parcel

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SITE PLAN - AREA
A1.3

SITE PLAN - AREA
 1" = 30'
 1 INCH

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KEYNOTES

1. HVAC SCREEN - 6 FOOT HIGH.

GENERAL NOTES

A. -



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR MATERIALS KEY

	CLADDING - 'STONEWOOD'		STOREFRONT GLAZING SYSTEM
	METAL SIDING		NAILFIN GLAZING SYSTEM
	CEMENT PLASTER		HOLLOW METAL GLAZING SYSTEM

TRILOGY
ARCHITECTURE • URBAN DESIGN • RESEARCH

2055 PINE STREET, REDDING, CALIFORNIA 96001
T (530) 245-3000 F (530) 245-3049 www.trilogyarch.com

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EXTERIOR ELEVATIONS - OVERALL

A4.1

EXTERIOR ELEVATIONS - OVERALL
1/16" = 1'-0"