



BUILDING PERMIT PROCESS A Step by Step Guide



City of Redding
777 Cypress Avenue
Redding CA 96001
Telephone:
(530) 225-4013
FAX: (530) 225-4360

The Permit Center is your one-stop spot for a building permit.

The Permit Center draws staff from the Building and Planning Divisions, and the Engineering Division's Land Development section.

Why does the City issue building permits and how do I benefit by getting one?

Permits are for your safety. The City issues permits to monitor all construction projects for safety and to ensure that all buildings meet minimum standards. These minimum standards protect occupants and neighbors not only in everyday living, but also in case of emergencies and natural disasters.

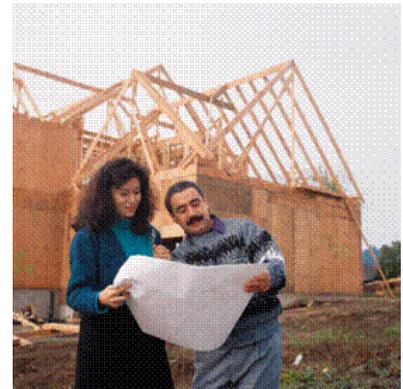
Also, work done without a permit is illegal and can pose serious complications for your fire and homeowner's insurance or for you when you sell your home. By obtaining a Building Permit, you avoid legal and financial liabilities.

When do I need a building permit?

Typically, **ALL** new home construction, remodeling, alterations, and room additions need building permits. You must also obtain electrical, plumbing, and mechanical permits when installing, altering, or replacing electrical wiring, outlets, and service panels; gas and water lines, outlets, drains and fixtures (including sinks, garbage disposals, repiping, pool plumbing); and water heaters and furnaces. If you are unsure, call the Building Division at 225-4013.

Some common outdoor improvements that also need building permits are:

1. Most retaining walls
2. Reroofing over 200 square feet
3. Patio covers
4. Decks over 30 inches above grade
5. Swimming pools and spas
6. Solar energy collection units
7. Storage buildings over 120 square feet
8. Garages and carports
9. Fireplaces and wood stoves
10. All fences over six feet



How does the permit process work?

You or your contractor will submit your application and drawings to Permit Center staff for the plan review process.

For simple construction installation such as wood stoves, gas lines, new heating and cooling units, and most plumbing, the Building Division reviews and approves permit applications.

For more complicated projects such as room additions, the review process may require several complete sets of construction plans.

Permit Center staff may submit your plans to the following divisions that work together on the permit process:

Building Division (530) 225-4013

The Building Division reviews your drawings and inspects each phase of construction for safety and conformance to the building, plumbing, electrical, and mechanical codes.

Planning Division (530) 225-4020

The Planning Division looks at the placement of new structures on property boundaries to verify zoning requirements such as lot size and coverage, density, building setbacks, and height limit for your neighborhood. Zoning restrictions may require a use permit or variance.

Engineering Division's Land Development Section (530) 225-4170

The Land Development section issues grading and encroachment permits. A grading permit is required if your project requires moving more than 50 cubic yards of earth material. An encroachment permit is required if work will be done in City easements or rights of way.

What types of plans do I need?

For construction outside the existing walls of your home (e.g., a room addition), you will need the following drawings:

- Plot Plans showing the property lines, existing structures, and easements
- Floor Plans labeling the size and location of walls, windows, doors, electrical layout, and room descriptions.
- Foundation Plans showing footings and slab construction or footings and underfloor framing
- Structural Drawings explaining the connection details of the project's structural elements
- Elevations showing the outside of the house
- Section Drawings depicting a cross-section of the house.

Detailed descriptions of the plan standards are available at the Permit Center counter or online at the City's Webpage, select the Permit Center, Handouts and Forms Online.

Why do I need plans?

Good drawings are one of the most important steps of your project. They will be used to cost out the job, get estimates from any subcontractors, and obtain the necessary building permits. Better yet, they will give you a much clearer idea of how things will look once you are finished.

If you are doing a simple project, you may be able to do all the drawings yourself. A project that involves no new construction may only need floor plans depicting the before and after look of your house. (Not all projects require a full set of plans. Be sure to check what is required.)

The City does not provide plan drawing or designing services, but the Permit Center provides handouts and information to assist you with your project.

Should I hire a contractor or do the work myself?

You may apply for a building permit as "owner/builder." If you hire a contractor, he/she is responsible for obtaining and signing the building permit.

Before hiring a contractor, verify that he/she is State licensed, has a valid City business license, and possesses a certificate of Workers Compensation. You and your contractor should have a signed contract for all work.

STEPS TO OBTAIN AND FINALIZE A BUILDING PERMIT:

Step 1: Bring in your ideas and get information and an application at the Permit Center.

Before beginning your home improvement project, bring some informal documentation or a sketch and discuss your ideas with the Permit Center staff. They can review your ideas to see if the project will meet zoning requirements and discuss possible alternatives. Staff will give you appropriate permit applications and handouts and information on construction requirements and fees.

Step 2: Submit the permit application with your deposit and plans for review.

You or your contractor will submit the permit application and required plans to the Permit Center; a deposit to cover the cost of plan review will be required at this time.

The building permit application review process takes 10-15 working days. If corrections are needed, your plans will be returned with the problem areas marked in red notations. Make the requested changes, then resubmit two corrected sets of plans and return the red-lined set of plans. The resubmittal should take about 5 to 10 working days.

Step 3: Pay fees and obtain building permits.

You will be notified when your plans have been approved. You must obtain your building permit and pay the associated building fees within 180 days of the date you first submitted plans. Construction may begin only after your building permits have been issued and plans approved.

Step 4: Arrange for building inspections.

For inspections, call the Building Division's Inspection Request Line at 225-4017. Requests received before 6 a.m. on any working day will be made the same day.

Inspections are required at various points during construction. Typically, inspections are required for:

- Foundation and embedded plumbing
- Slab, or raised-floor framing and floor insulation
- Shear nailing and roof nailing
- Framing, rough electrical, mechanical, and plumbing
- Insulation
- Drywall nailing
- Gas pressure test
- Final Inspection

The "rule of thumb" is to not cover anything before it has been inspected and approved.

It is the responsibility of the permit holder to notify the Building Division when the construction work is ready for inspection. If you have any questions regarding when an inspection is required, please contact your inspector.

After an inspection, if corrections are required to comply with the codes, the corrections must be completed and re-inspected before continuing construction.



Step 5: Build while your permits are valid.

In order for your permits to remain valid, you must have your first inspection within 180 days from the date the permit is issued. Thereafter, you must have inspections showing substantial progress at intervals of no more than 180 days.

If the start of construction is delayed, you may request an extension of your permit. A letter to the Building Official made prior to the expiration of the permit may allow you additional time to begin the project.

Step 6: Receive final approval.

When the project is completed, call for a final inspection. The building inspector will make a final, on-site inspection of the improvement(s) and sign the permit(s) if all work passes inspection.



Remember! The project is not complete for legal purposes until it has passed the final inspection.

PERMIT CENTER HOURS

Monday through Friday

8 a. m. to 5 p. m.

(530) 225-4030

Inspector's Hours

Monday through Friday

7 a. m. to 3:30 p. m.

(530) 225-4017

Meet your inspectors on-line at

<http://www.ci.redding.ca.us/devserv/building/inspinfo.html>

or

Obtain inspection results at

<http://www.ci.redding.ca.us/devserv/building/inspresults.html>